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**Mono County Community
Development**

**Mono County
Community Development Department**

P.O. Box 347
Mammoth Lakes, CA 93546
(760) 924-1800, fax 924-1801
commdev@mono.ca.gov

Planning Division

P.O. Box 8
Bridgeport, CA 93517
(760) 932-5420, fax 932-5431
www.monocounty.ca.gov

**WHEELER CREST DESIGN REVIEW DISTRICT
PROJECT INFORMATION SHEET**

APPLICANT _____

ASSESSOR PARCEL # _____

PROJECT DESCRIPTION (e.g., single-family residence, garage, etc.)

BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

EXAMPLE

A. Location of all utility boxes, transformers, propane tanks and metering devices.
Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

A. Location of all utility boxes, transformers, propane tanks and metering devices.
Please explain how your project complies with the following design criteria:

Design Criteria: All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

B. Paint color for any portions of construction grade foundation work that extend above the finished grade.

Please explain how your project complies with the following design criteria (*lines on next page*):

Design Criteria: Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

C. Paint or stain color for exposed under portions of elevated decks and porches.

Please explain how your project complies with the following design criteria:

Design Criteria: Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

D. Siding materials and pattern of application.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

E. Color for any aluminum sash.

Please explain how your project complies with the following design criteria:

Design Criteria: Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

F. Paint colors for all exposed metal.

Please explain how your project complies with the following design criteria:

Design Criteria: All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

G. Roof materials

Please explain how your project complies with the following design criteria:

Design Criteria: Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

H. Color and type of exterior stains and finishes.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

I. Location of any exterior lighting.

Please explain how your project complies with the following design criteria:

Design Criteria: Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

SITE DEVELOPMENT

J. Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.

Please explain how your project complies with the following design criteria:

Design Criteria: The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

K. Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).

Please explain how your project complies with the following design criteria:

Design Criteria: Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

L. Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).

Please explain how your project complies with the following design criteria:

Design Criteria: Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

M. Fencing location, design and materials.

Please explain how your project complies with the following design criteria:

Design Criteria: Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call

attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

N. Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).

Please explain how your project complies with the following design criteria:

Design Criteria: Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

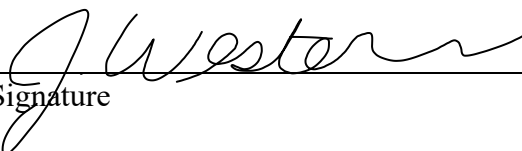
An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

O. The items checked above have been included with the building plans and plot plan for Plan Check # _____



 Signature

8/23/2023

 Date

PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

APPLICANT _____

ASSESSOR PARCEL # _____

PROJECT DESCRIPTION _____

(e.g., single-family residence, garage, etc.)

WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:

Recommended for approval: without conditions with attached conditions

Chair, Wheeler Crest Design Review Committee

Date

The Wheeler Crest Design Review Committee recommends the following findings and conditions:

Complies with guidelines

Does not comply with guidelines (please summarize items inconsistent with guidelines)

Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

COMMUNITY DEVELOPMENT DETERMINATION:

Hold for further review/information (see attached letter for detail)

Approved with no conditions

Approved with the following conditions

Community Development Department

Date

**PLUM DESIGN &
CONSTRUCTION**

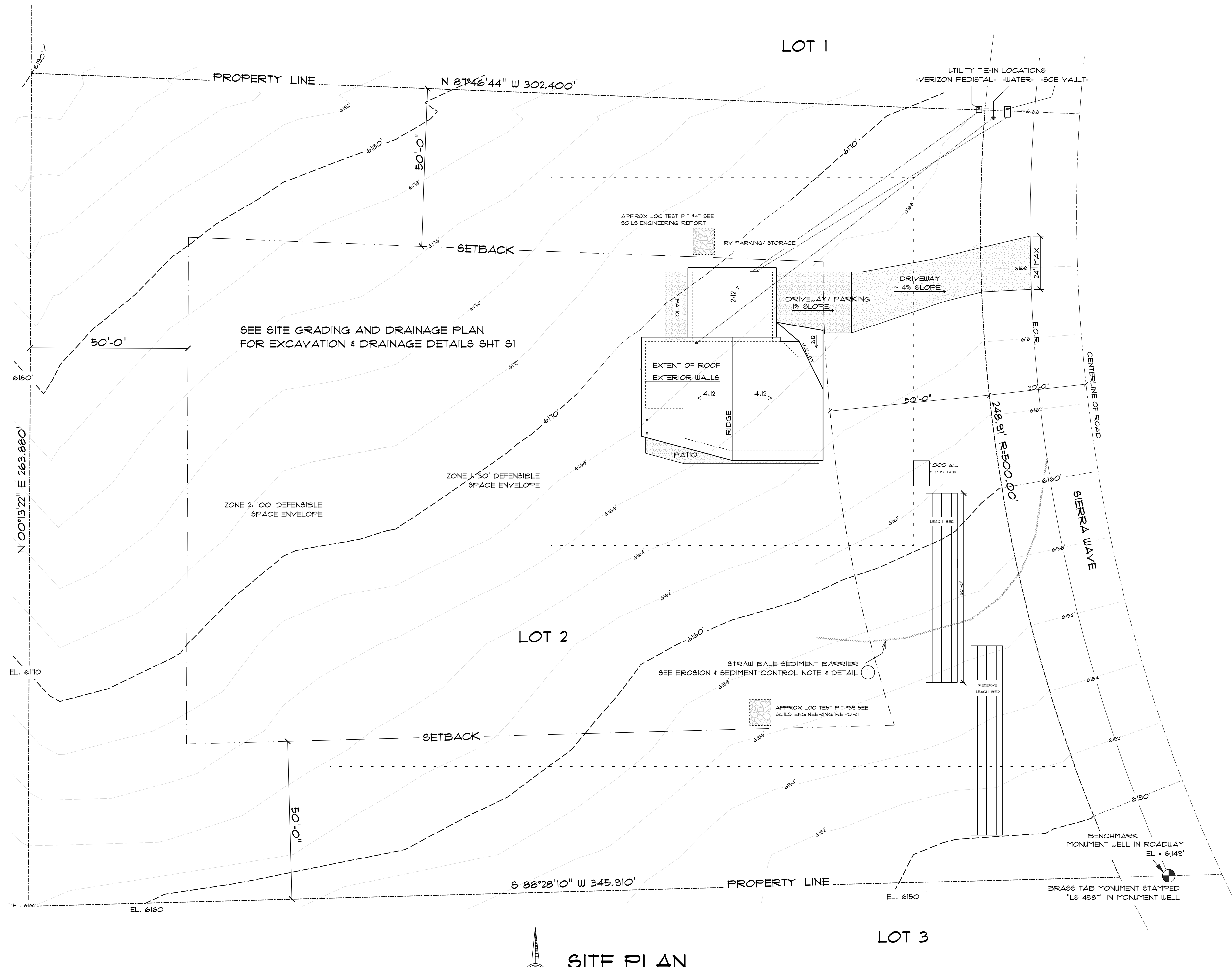
2620 SIERRA VISTA WAY
BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM

760.965.6698

DRAWN BY: JSP 11/20/2023
CA. Lic. # 875346

CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE



SITE PLAN
SCALE: 1" = 20'-0"

EROSION & SEDIMENT CONTROL

BEST MANAGEMENT PRACTICES (BMP) SHALL CONSIST OF THE FOLLOWING:

1. DUST CONTROL

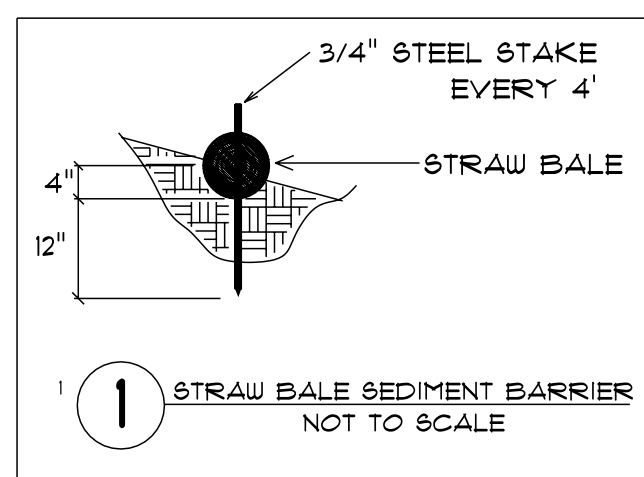
SPRINKLING - THE SITE IS SPRINKLED WITH WATER AS NEEDED TO KEEP THE SURFACE MOISTENED TO A DEPTH OF 2-3 INCHES, BUT IS NOT SATURATED.

2. STRAW BALE SEDIMENT BARRIERS

ROW OF STRAW BALES SHALL BE PLACED ALONG THE CONTOUR OF A GENTLE SLOPE OR AT THE TOE OF A STEEPER SLOPE. THEY CAN BE USED IN THIS WAY AROUND THE DISTURBANCE AREA OR NEAR THE PROPERTY BOUNDARY WHERE RUNOFF FROM THE SITE PASSES ONTO AN ADJACENT PROPERTY.

3. FINAL COVER OF SLOPES

FINAL COVER, SUCH AS VEGETATION, MULCH, ROCK, OR GRAVEL, VEGETATION MUST BE EVENLY DISTRIBUTED AND COVER AT LEAST 10% OF THE DISTURBED AREA. ALTERNATIVELY, THE DISTURBED AREA CAN BE 100% COVERED BY INERT MATERIALS SUCH AS MULCH, ROCK, OR GRAVEL.



1 STRAW BALE SEDIMENT BARRIER NOT TO SCALE

DEFENSIBLE SPACE

PROVIDE ADEQUATE WILDFIRE DEFENSIBLE SPACE AS FOLLOWS:

ZONE 1 (30' PERIMETER)

- A) REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS.
- B) REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES.
- C) TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- D) CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.

ZONE 2 (100' PERIMETER)

- A) CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF FOUR INCHES.
- B) CREATE HORIZONTAL SPACE BETWEEN SHRUBS AND TREES. (SEE DIAGRAM)
- C) CREATE VERTICAL SPACE BETWEEN GRASS, SHRUBS AND TREES. (SEE DIAGRAM)
- D) REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF THREE INCHES.
- E) KEEP 10 FEET OF CLEARANCE AROUND EXPOSED WOOD PILES, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.
- F) CLEAR AREAS AROUND OUTBUILDINGS AND PROPANE TANKS. KEEP 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

PROJECT INFORMATION:
WESTERN RESIDENCE

OWNER:
JIM & JOAN WESTERN
514 AMERICAS WAY #4730
BOX ELDER, SD 57119

PROJECT SITE:
WESTERN RESIDENCE
LOT #2 SIERRA WAVE
SMALL MEADOWS, CA 93514

SITE PLAN

#	REVISION RECORD	DATE

A1

SCALE: As NOTED

**PLUM DESIGN &
CONSTRUCTION**

2620 SIERRA VISTA WAY
BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM
760.965.6698

DRAWN BY: J&P 11/20/2023
CA. LIC. # 815346

PROJECT SITE:
WESTERN RESIDENCE
LOT #2 SIERRA WAVE
SMALL MEADOWS, CA 93514

PROJECT INFORMATION:
WESTERN RESIDENCE

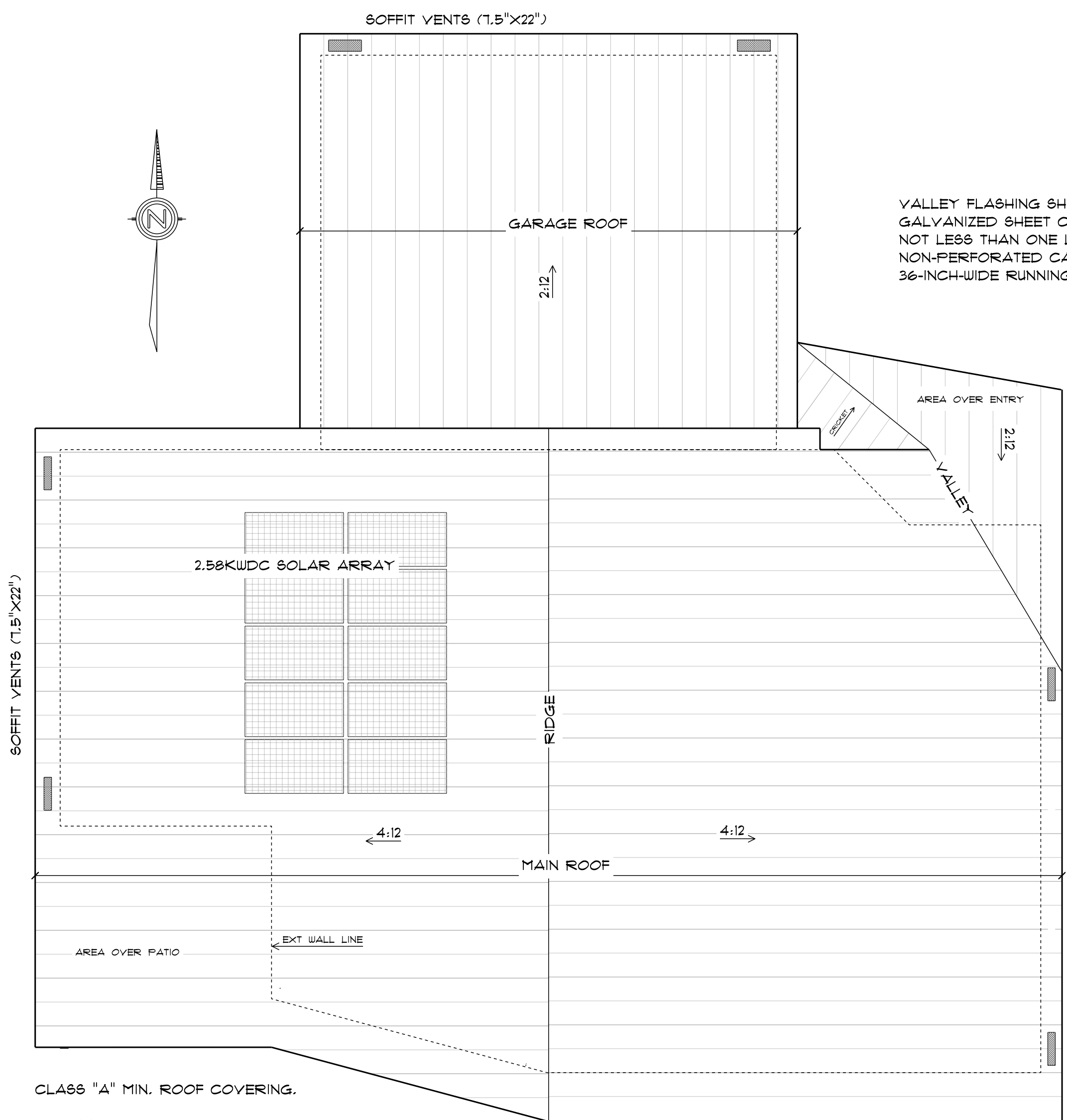
OWNER:
JIM & JOAN WESTERN
514 AMERICAS WAY #4130
BOX ELDER, SD 57115

ELEVATIONS

* REVISION RECORD	DATE

A3

SCALE: As NOTED



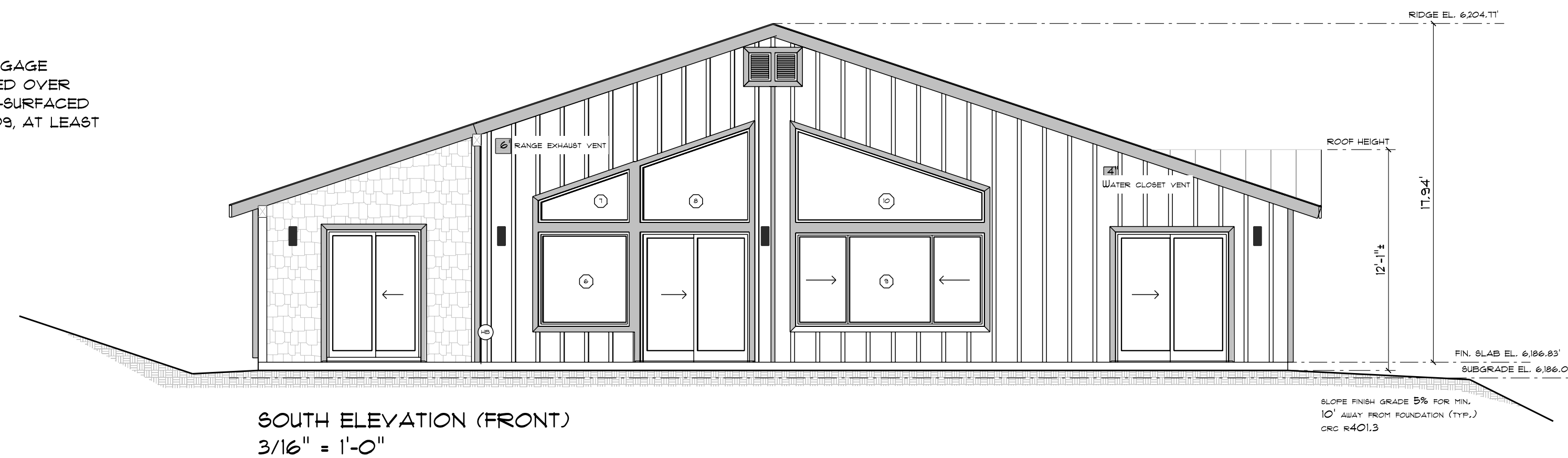
CLASS "A" MIN. ROOF COVERING.

ROOFING:
ASC SKYLINE 16" STANDING SEAM METAL ROOFING,
DURATECH 5000 MATTE BLACK
(COOL ROOF RATING COUNCIL PRODUCT I.D. 0818-0046)

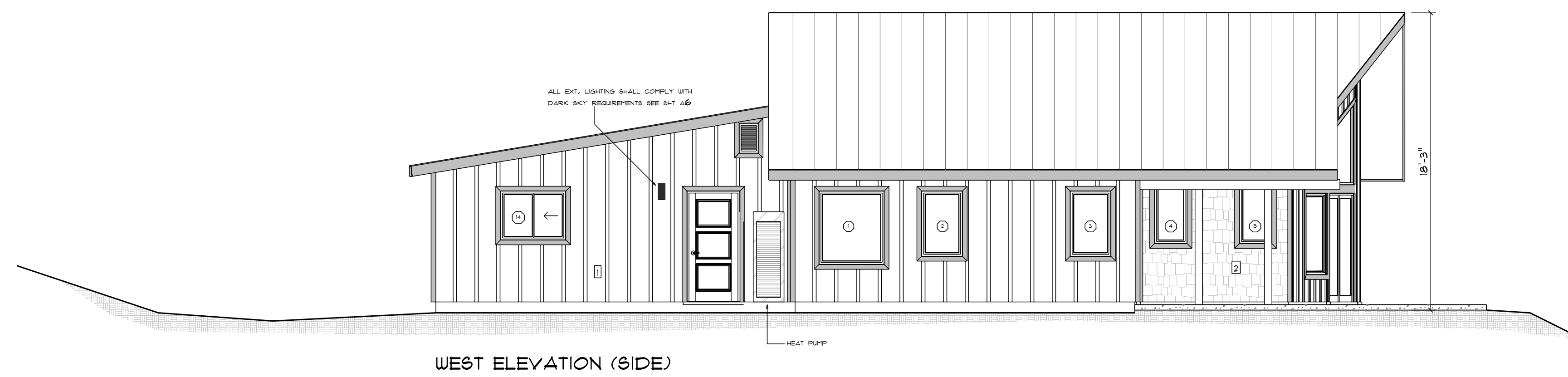
UNDERLAYMENT:
GAF TIGERPAW (OR SIM THAT COMPLIES WITH A UL LISTED
ANSI/UL 790 CLASS A SYSTEM)

TOP ELEVATION
3/16" = 1'-0"

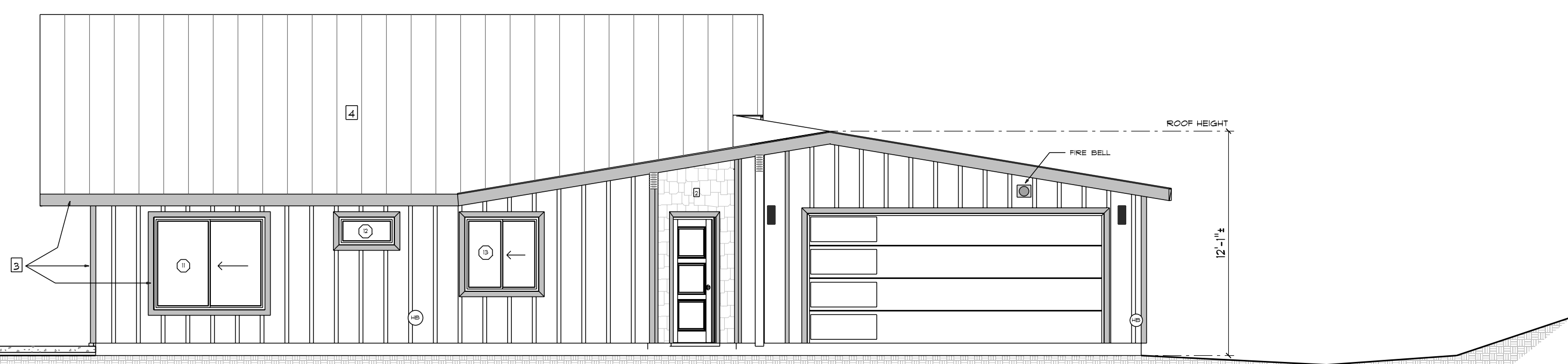
VALLEY FLASHING SHALL BE NOT LESS THAN 0.019" NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 12-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36-INCH-WIDE RUNNING THE FULL LENGTH OF THE VALLEY.



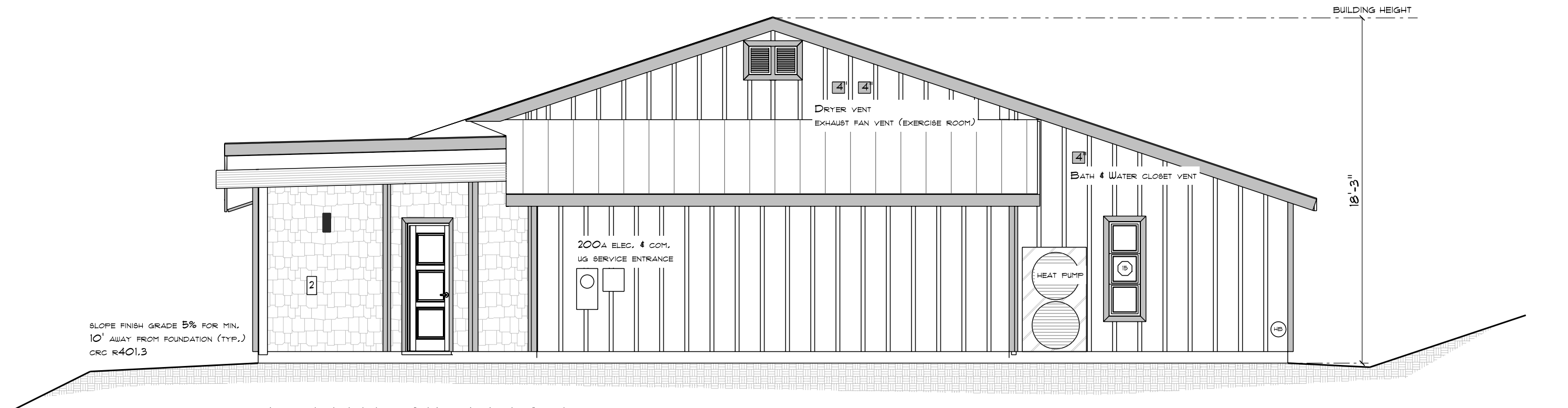
SOUTH ELEVATION (FRONT)
3/16" = 1'-0"



WEST ELEVATION (SIDE)
3/16" = 1'-0"



EAST ELEVATION (SIDE)
3/16" = 1'-0"



NORTH ELEVATION (REAR)
3/16" = 1'-0"

EXTERIOR FINISH MATERIALS

OPAQUE SURFACES:

- 1 SIDING 1: CEMENTIOUS FIBER BOARD BOARD & BATTON 16" O.C. 2-1/2" BATTONS
- 2 SIDING 2: WESTER RED CEDAR SHAKE
- 3 TRIM: PRIMED SPRUCE
- 4 ROOFING: ASC SKYLINE 16" STANDING SEAM METAL ROOFING, DURATECH 5000 MATTE BLACK (COOL ROOF RATING COUNCIL PRODUCT I.D. 0818-0046)

OPENINGS/ FENSTRATION:

- WINDOWS: BLACK ALUMINUM CLAD
- ENTRY DOOR: BLACK STEEL CLAD W/ LITES
- GARAGE PORTAL DOOR: BLACK STEEL CLAD W/ LITES

NOTE:

- SEE WUI NOTE & CHECKLIST SHEET 2
- SEE EXTERIOR INSTALLATION DETAILS SHEET A1 (DETAILS 3-13)

ATTIC VENTILATION CALCULATION

MAIN ROOF:

ATTIC VENTILATION (CRC R806.2 EXCEPTION 2)
ATTIC SF = 1,668
1,668 X 1/300 = 5,568 SF
REQUIRED NFVA: 800 SQ. IN.

MIN REQUIRED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 800 SQ. IN. • 40% = 320 SQ. IN.
MAX ALLOWED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 800 SQ. IN. • 50% = 400 SQ. IN.

NFVA PROVIDED: 820 SQ. IN.

GABLE END VENTS
(4) 14"X18" (86 NFVA EA) (344 NFVA TOTAL)
TO BE: VULCAN VG1418FF G90 GALVANIZED, OR SIM.

SOFFIT VENTS
(4) 1.5"X22" (119 NFVA EA) (476 NFVA TOTAL)
TO BE: VULCAN VENT VET1522FC G90 GALVANIZED, OR SIM.

GARAGE ROOF:

ATTIC VENTILATION (CRC R806.2 EXCEPTION 2)
ATTIC SF = 560
560 X 1/300 = 1,878 SF
REQUIRED NFVA: 269 SQ. IN.

MIN REQUIRED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 269 SQ. IN. • 40% = 108 SQ. IN.
MAX ALLOWED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 269 SQ. IN. • 50% = 135 SQ. IN.

NFVA PROVIDED: 353 SQ. IN.

GABLE END VENTS
(1) 14"X22" (119 NFVA EA) (119 NFVA TOTAL)
TO BE: VULCAN VG1422FF G90 GALVANIZED, OR SIM.

SOFFIT VENTS
(2) 1.5"X22" (119 NFVA EA) (238 NFVA TOTAL)
TO BE: VULCAN VENT VET1522FC G90 GALVANIZED, OR SIM.

GEOTECHNICAL INVESTIGATION:

INITIAL SOILS INVESTIGATION REPORT TITLED:
 "SOILS ENGINEERING REPORT FOR TRACT 31-49
 RIMROCK RANCH PHASE VI, MONO COUNTY, CALIFORNIA"
 PERFORMED BY: SEIRRA GEOTECHNICAL SERVICES, INC.
 DATED DECEMBER 23, 2002
 **REFERENCED IN FOLLOW-UP REPORT LISTED BELOW.

FOLLOW-UP TO SOILS INVESTIGATION REPORT AND REVIEW OF SITE/ GRADING PLAN TITLED:
 "SITE AND PLAN REVIEW FOR GEOTECHNICAL CONFORMANCE"
 PERFORMED BY: SEIRRA GEOTECHNICAL SERVICES, INC.
 DATED NOVEMBER 7, 2023

EARTHWORK AND GRADING:

**SUMMARY OF RECOMMENDATIONS FROM SOILS INVESTIGATION REPORT
 (CITED ABOVE)**

THE FOLLOWING GRADING RECOMMENDATIONS SHOULD BE ADHERED TO FOR PLACING FILL MATERIAL WITHIN STRUCTURAL AREAS (I.E., BUILDING PAD OR PAVEMENT AREAS).

CUT SLOPES
 CUT SLOPES SHALL BE NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL (2:1).

FILL SLOPE
 FILL SLOPES SHALL BE NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL (2:1).

PREPARATION OF GROUND
A. REMOVE ALL BRUSH WITHIN AND FIVE FEET BEYOND ALL STRUCTURAL AREAS TO RECEIVE FILL MATERIAL.
B. SURFACES RECEIVING FILL SOILS SHALL BE SCARIFIED AND AERATED OR MOISTENED TO A MOISTURE CONTENT ACCEPTABLE TO THE GEOTECHNICAL ENGINEER AND COMPACTED TO NO LESS THAN 90 PERCENT OF THE MATERIAL'S MAXIMUM DENSITY TO A DEPTH OF 12 INCHES AS DETERMINED BY ASTM D-1557-LATEST EDITION. ALL ROOT MATERIAL TURNED UP DURING SCARIFYING OPERATIONS SHALL BE REMOVED PRIOR TO COMPACTION. THE GEOTECHNICAL ENGINEER SHALL APPROVE AND TEST ALL SCARIFIED AND COMPACTED AREAS PRIOR TO PLACING ANY ADDITIONAL COMPACTED FILL.
 THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NONCOMPLYING FILL, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND BY SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL. WHERE EXISTING SLOPES ARE STEEPER THAN FIVE (5) HORIZONTAL TO ONE (1) VERTICAL (5:1), THE GROUND SHALL BE PREPARED BY BENCHING INTO COMPETENT MATERIAL, AS DETERMINED BY THE GEOTECHNICAL/ SOIL ENGINEER. THE LOWERMOST BENCH BENEATH THE TOE OF A FILL SLOPE SHALL BE A MINIMUM TEN (10) FEET IN WIDTH. UNSUITABLE SOIL SHALL BE REMOVED PRIOR TO PLACEMENT OF FILL AND DISPOSED OF PROPERLY.

FILL MATERIAL
C. ALL IMPORT FILL MATERIAL SHALL CONSIST OF A FREE-DRAINING, GRANULAR MATERIAL APPROVED BY SGGI PRIOR TO PLACEMENT.
D. ALL FILL SOILS SHALL BE PLACED IN LIFTS SUCH THAT AFTER COMPACTION THEY DO NOT EXCEED EIGHT INCHES IN THICKNESS. ROCKS OVER EIGHT INCHES IN DIAMETER SHALL NOT BE PLACED WITHIN STRUCTURAL FILL AREAS. EACH LIFT SHALL BE COMPACTED UNTIL FIELD DENSITY TESTING INDICATES THAT THE IN-PLACE DENSITY OF THE FILL IS NO LESS THAN 90 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557-LATEST EDITION.
E. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR PLACED IN FILLS. EXCEPT, ROCKS GREATER THAN TWELVE (12) INCHES MAY BE PLACED AS TO BE SURROUNDED BY SOILS; NO NESTING OF ROCKS WILL BE PERMITTED.
F. NO FILL SOILS SHALL BE PLACED DURING UNFAVORABLE WEATHER CONDITIONS. WHEN RAINS INTERRUPT WORK, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL THE FIELD TESTS BY THE GEOTECHNICAL ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL ARE AS PREVIOUSLY SPECIFIED.

COMPACTION
 ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF NINETY (90) PERCENT OF MAXIMUM DENSITY AS DETERMINED BY AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) ACTIVE STANDARD ASTM D1957 OR EQUIVALENT.
E. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-2922-LATEST EDITION. FIELD DENSITY TESTS SHALL BE MADE EVERY ONE VERTICAL FOOT OF FILL PLACED.

SETBACKS
DESIGN STANDARDS FOR SETBACKS
 THE TOPS AND THE TOES OF CUT AND FILL SLOPES SHALL BE SET BACK FROM STRUCTURES AS FAR AS NECESSARY FOR ADEQUACY OF FOUNDATION SUPPORT AND TO PREVENT DAMAGE AS A RESULT OF WATER RUNOFF, EROSION, OR MAINTENANCE OF THE SLOPES. UNLESS OTHERWISE APPROVED SETBACKS SHALL BE NO LESS THAN THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE.

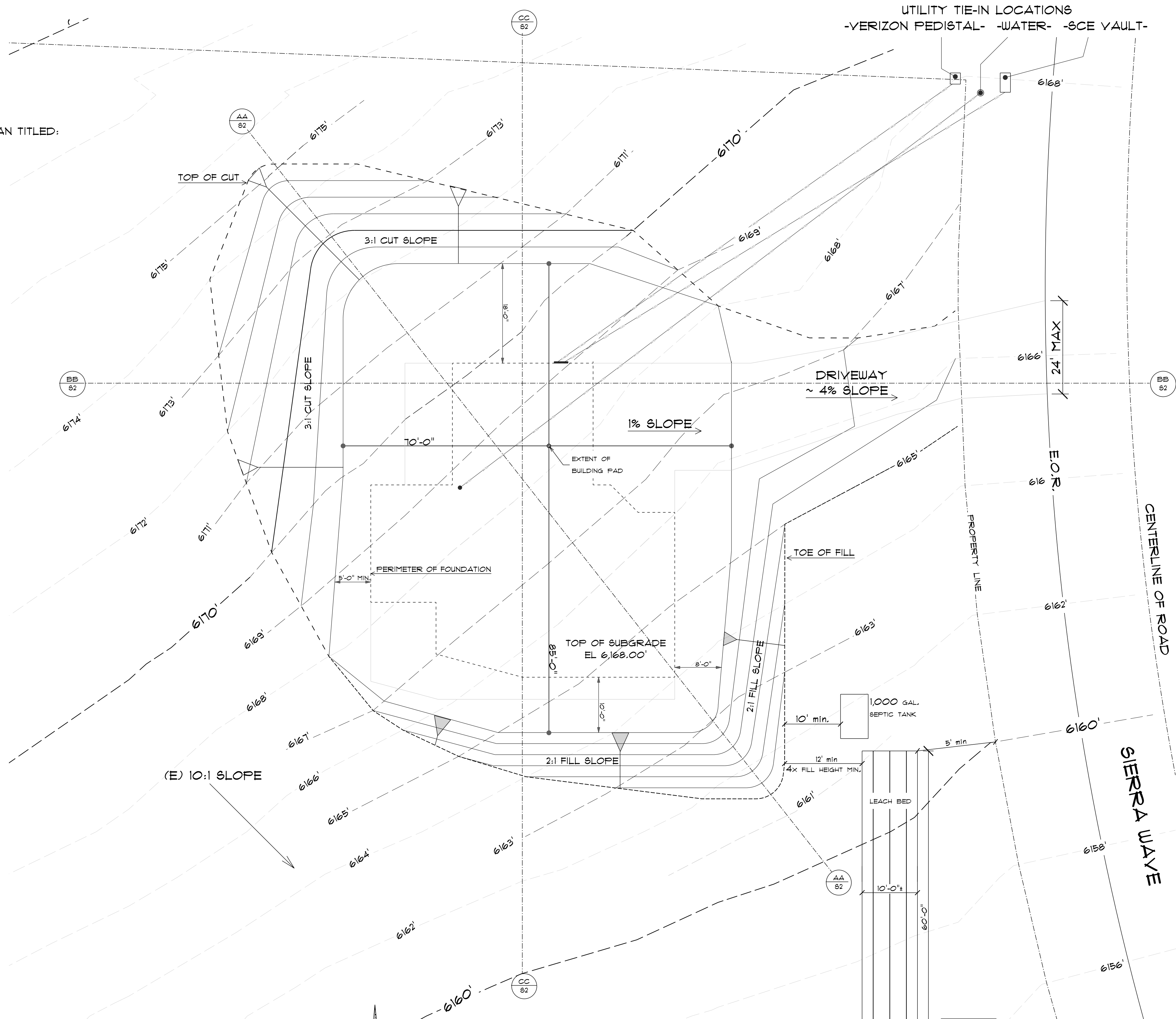
TRENCH BACKFILL:
 ALL UTILITY TRENCH BACKFILL SHOULD BE PLACED TO THE FOLLOWING STANDARDS:
 1. INTERIOR TRENCHES, WITHIN THE BUILDING FOOTPRINTS AND ROADWAYS, SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.
 2. EXTERIOR TRENCHES, PARALLELING A FOOTING AND EXTENDING BELOW A 1:1 PLANE PROJECTED FROM THE OUTSIDE BOTTOM EDGE OF THE FOOTING, SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.
 3. ALL TRENCHES IN STRUCTURAL AREAS AND UNDER CONCRETE FLATWORK OR PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.
 4. ALL TRENCHES IN THE DRIVEWAY AND PARKING AREAS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION, WITH THE UPPER ONE FOOT COMPACTED TO 95 PERCENT RELATIVE COMPACTION.
 5. ALL TRENCHES IN UNDEVELOPED AREAS SHALL BE COMPACTED TO A MINIMUM OF 85 PERCENT PER ASTM D-1557-LATEST EDITION.
 6. ALL MATERIAL USED FOR TRENCH BACKFILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
 7. SEE UTILITY PLANS FOR TRENCH DETAILS.
 8. REGULATIONS OF THE GOVERNING AGENCY MAY SUPERSEDE THE ABOVE.
 9. ALL TRENCH EXCAVATIONS SHOULD CONFORM TO ALL APPLICABLE SAFETY CODES.

EXCAVATION DETAILS

BALANCED EXCAVATION

TOTAL DISTURBANCE: ~10,100 SF

VOLUME
 CUT: ~525 YD³
 FILL: ~489 YD³



GRADING & DRAINAGE PLAN

SCALE 1" = 10'
 CONTOUR INTERVAL (OVERALL) 2'
 CONTOUR INTERVAL (GRADING) 1'

LEGEND	
---	(E) CONTOUR
---	(N) CONTOUR
---	(N) UTILITY LOCATION (APPROX)
---	SITE PROFILE LINE
▲	FILL SLOPE
▲	TOE OF FILL SLOPE
▲	CUT SLOPE
---	TOP OF CUT SLOPE

PLUM DESIGN & CONSTRUCTION

2620 SIERRA VISTA WAY
 BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM
 760.965.6698

DRAWN BY: JSP 11/20/2023
 CA. Lic. # 875346

PROJECT SITE:
 WESTERN RESIDENCE
 LOT #2 SIERRA WAVE
 SMALL MEADOWS, CA 93514

PROJECT INFORMATION:
 WESTERN RESIDENCE

OWNER:
 JIM & JOAN WESTERN
 514 AMERICAS WAY #4130
 BOX ELDER, SD 57119

SITE GRADING & DRAINAGE PLAN

CONSTRUCTION DOCUMENT

#	REVISION RECORD	DATE

S1

SCALE: AS NOTED

MINIMUM BURIAL DEPTHS

GENERAL

TRENCHES SHALL BE BACKFILLED IN THIN LAYERS TO 12" ABOVE THE TOP OF THE PIPING WITH CLEAN EARTH, WHICH SHALL NOT CONTAIN STONES, BOULDERS, CINDERFILL, FROZEN EARTH, CONSTRUCTION DEBRIS, OR OTHER MATERIALS THAT WILL DAMAGE OR BREAK THE PIPING OR CAUSE CORROSIVE ACTION. (CPC 314.4, CEC 300.5(F))

TRENCHES DEEPER THAN THE FOOTING OF A BUILDING OR STRUCTURE, AND PARALLELING THE SAME, SHALL BE LOCATED NOT LESS THAN 45 DEGREES FROM THE BOTTOM EXTERIOR EDGE OF THE FOOTING. (CPC 314.1)

ELECTRICAL

SEE CEC TABLE 300.5 FOR ELECTRICAL WIRING/CONDUIT MINIMUM COVER REQUIREMENTS.

FOR UNDERGROUND CONDUCTORS BURIED 18" OR MORE BELOW GRADE, A WARNING RIBBON SHALL BE PLACED AT THE TRENCH 12" ABOVE THE UNDERGROUND INSTALLATION. (CEC 300.5(D))

PLUMBING (GAS)

UNDERGROUND GAS PIPING SHALL BE INSTALLED WITH A COVER OF NOT LESS THAN 12". WHERE EXTERNAL DAMAGE TO THE PIPE OR TUBING IS LIKELY TO RESULT, THE COVER SHALL NOT BE LESS THAN 18". (CPC 1210.1.1)

- FOR PLASTIC PIPING, AN ELECTRICALLY CONTINUOUS CORROSION-RESISTANT TRACER WIRE (NOT LESS THAN 14 AWG) OR TAPE SHALL BE BURIED WITH THE PLASTIC PIPE TO FACILITATE LOCATING. (CPC 1210.1.1.2)

PLUMBING (SEWER AND WATER)

SANITARY SEWER AND WATER PIPING (EXCEPT AS NOTED BELOW) SHALL HAVE A MINIMUM BURIAL DEPTH OF 12". (CPC 314.4)

INSTALLATION OF THERMOPLASTIC PIPE AND FITTINGS SHALL BE MADE ON A TRENCH 1.25 TIMES THE OUTSIDE DIAMETER OF THE PIPING PLUS 12" OR THE OUTSIDE DIAMETER OF THE PIPING PLUS 16". (CPC 314.4.1)

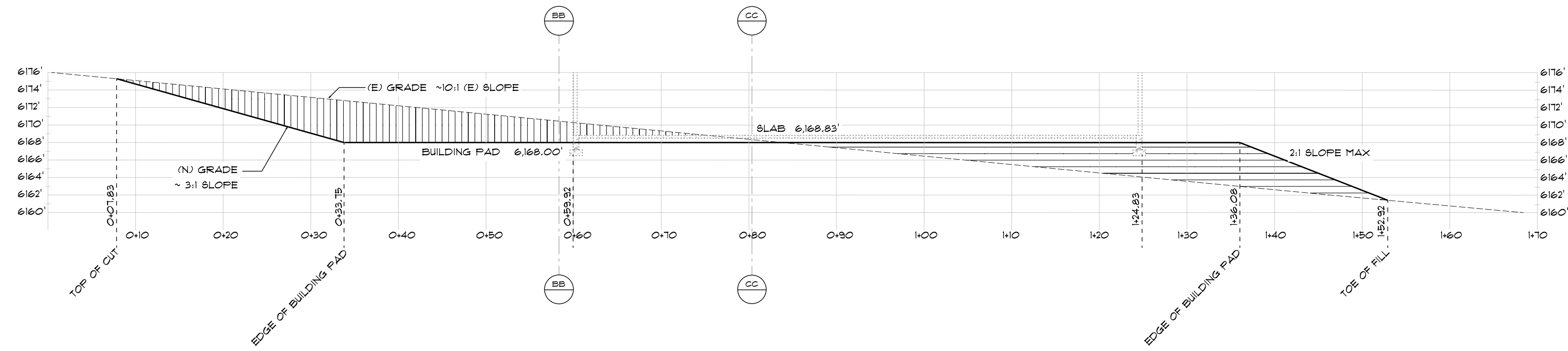
PLASTIC WATER PIPING SHALL HAVE A BLUE INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR INSTALLED ADJACENT TO THE PIPING; THE TRACER WIRE SHALL NOT BE LESS THAN 18 AWG AND THE INSULATION TYPE SHALL BE SUITABLE FOR DIRECT BURIAL. (CPC 604.10.1)

WATER PIPES SHALL NOT BE RUN OR LAID IN THE SAME TRENCH AS BUILDING SEWER OR DRAINAGE PIPING CONSTRUCTED OF CLAY OR MATERIALS THAT ARE NOT APPROVED FOR USE WITHIN A BUILDING UNLESS THE FOLLOWING CONDITIONS ARE MET (CPC 609.2):

- THE BOTTOM OF THE WATER PIPING SHALL NOT BE LESS THAN 12" ABOVE THE TOP OF THE SEWER OR DRAIN LINE.
- THE WATER PIPE SHALL BE PLACED ON A SOLID SHELF EXCAVATED AT ONE SIDE OF THE COMMON TRENCH WITH A CLEAR HORIZONTAL DISTANCE OF NOT LESS THAN 12" FROM THE SEWER OR DRAIN LINE.

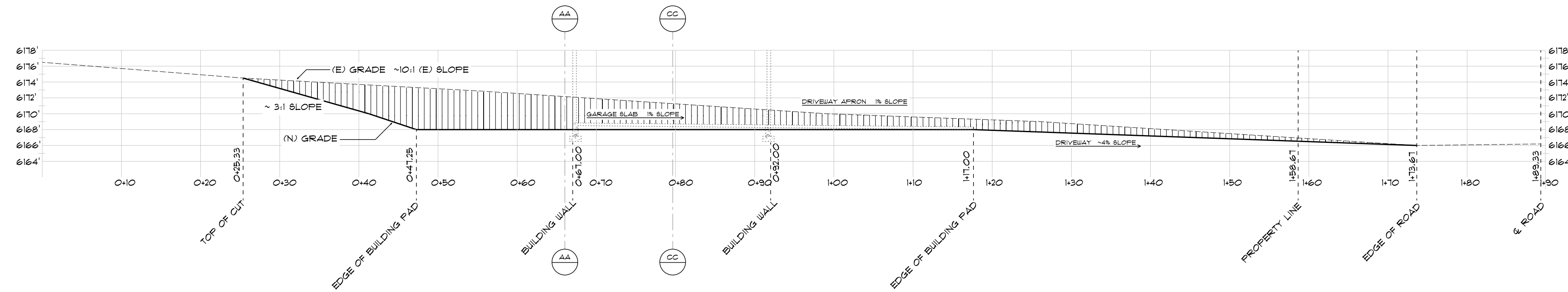
COMMUNICATION

NO DEPTH REQUIREMENTS.



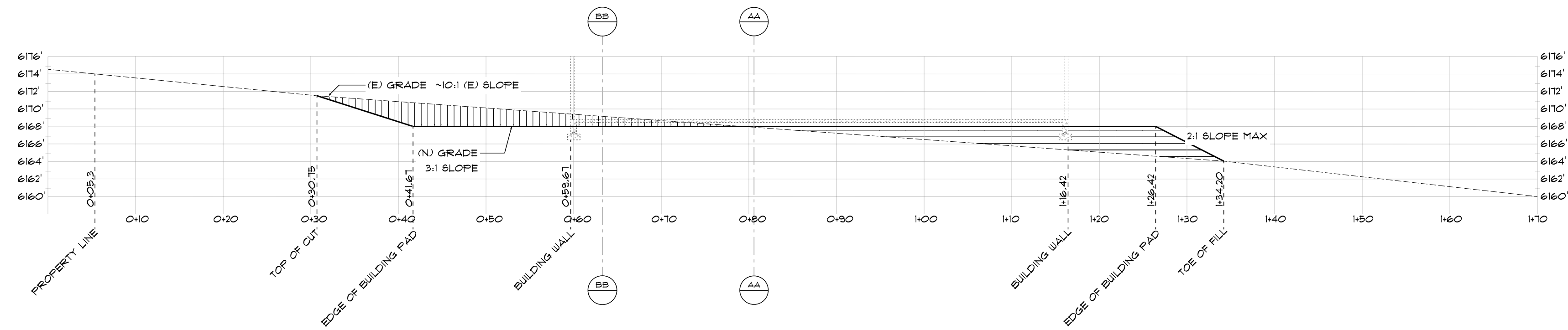
SITE PROFILE - AA

1" = 10'-0"



SITE PROFILE - BB (WEST/EAST THRU GARAGE & DRIVEWAY)

1" = 10'-0"



SITE PROFILE - CC (NORTH/SOUTH @ CENTER OF BUILDING)

1" = 10'-0"

NOTE:

- BUILDING ILLUSTRATED FOR REFERENCE ONLY.
SEE ARCHITECTURAL & STRUCTURAL DRAWINGS FOR DETAILS.

PLUM DESIGN & CONSTRUCTION

2620 SIERRA VISTA WAY
BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM

760.965.6698

DRAWN BY: JSP 11/20/2023

CA. Lic. # 875346

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SMALL MEADOWS, CA 93514

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514 AMERICAS WAY #4730
BOX ELDER, SD 57719

SITE PROFILES

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SCALE: As NOTED